

# EXHIBIT H





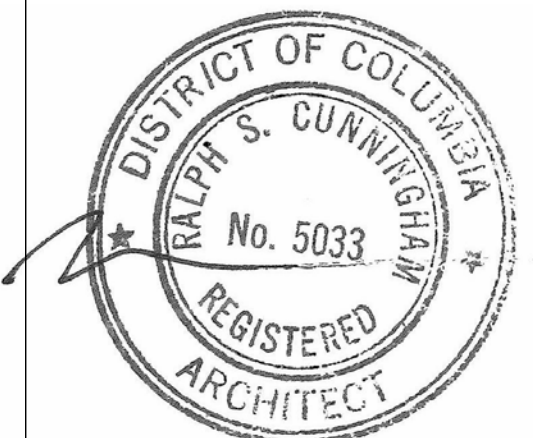
GOVERNMENT OF THE DISTRICT OF COLUMBIA  
 PERMIT OPERATIONS DIVISION  
 PLANS APPROVED  
 Permit No. FD1900028 Date 05/21/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Trade Permits are required for trade work. e.g. Electrical or Plumbing

Zoning Review - Brittany Bullock - 05-21-2019  
 Green Review - Kristian Hoffland - 05-21-2019  
 Structural Review - Andrew Wiley - 05-21-2019  
 Electrical Review - Alina Mahmood - 05-21-2019  
 DCEE SE-SW Review - Nykia Barnes - 05-21-2019  
 DCEE GAR Review - Nykia Barnes - 05-21-2019  
 Mechanical Review - Alec Petrillo-Groh - 05-21-2019  
 Plumbing Review - Alec Petrillo-Groh - 05-21-2019  
 WMATA Review - Robert Simpkins - 05-21-2019

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Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit

# Ward 1 STFH & PSH | 2500 14th Street, NW, Washington, DC 20009

FOUNDATION TO GRADE SUBMISSION - 01.17.19  
 DEPARTMENT OF GENERAL SERVICES PROJECT

## Ward 1 STFH & PSH

2500 14th Street NW  
 Washington DC 20009

CQA # 21811

Drawing Title

# Cover

Scale	Drawn By	CQA
Date	Checked By	CQA
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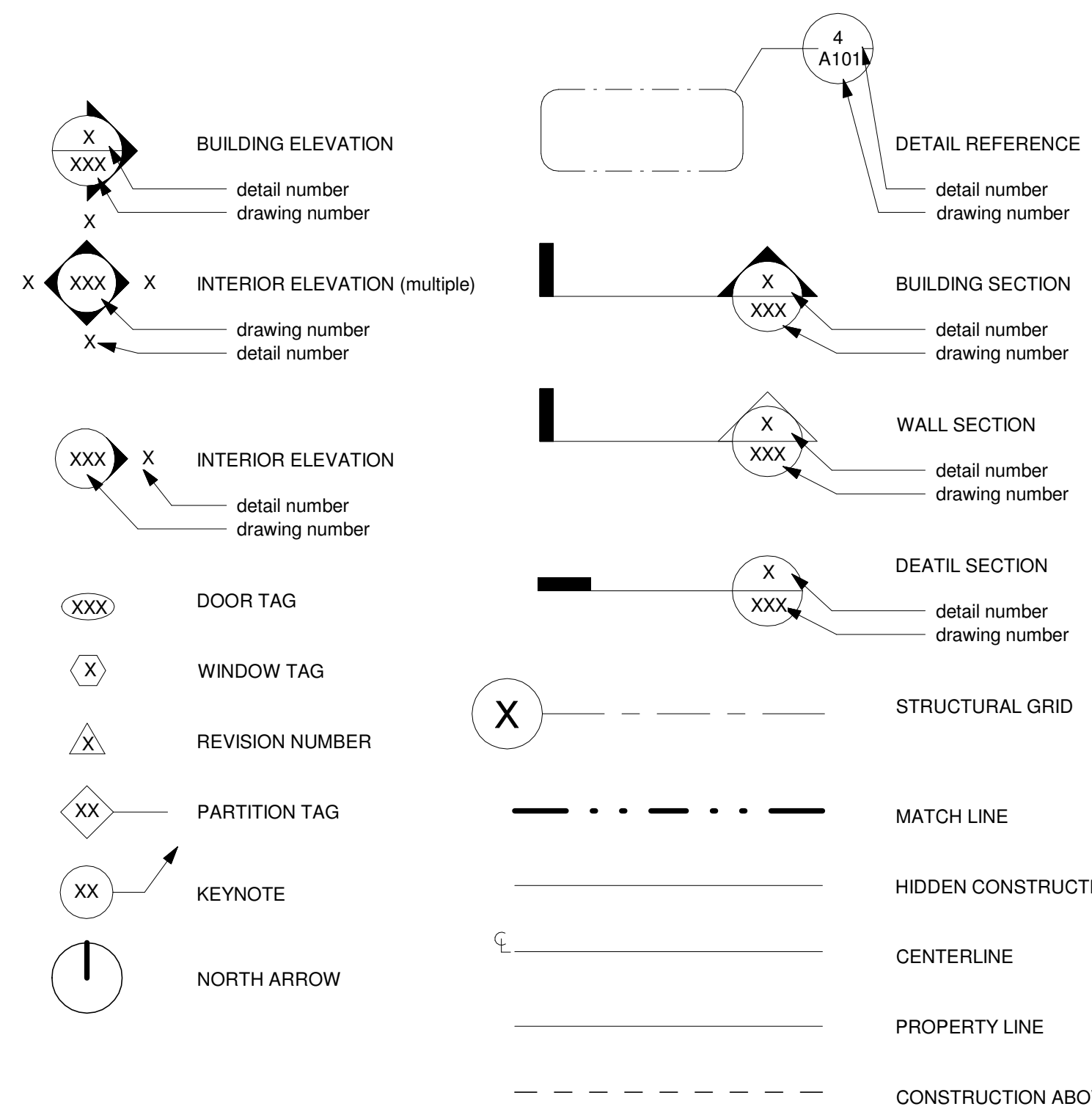
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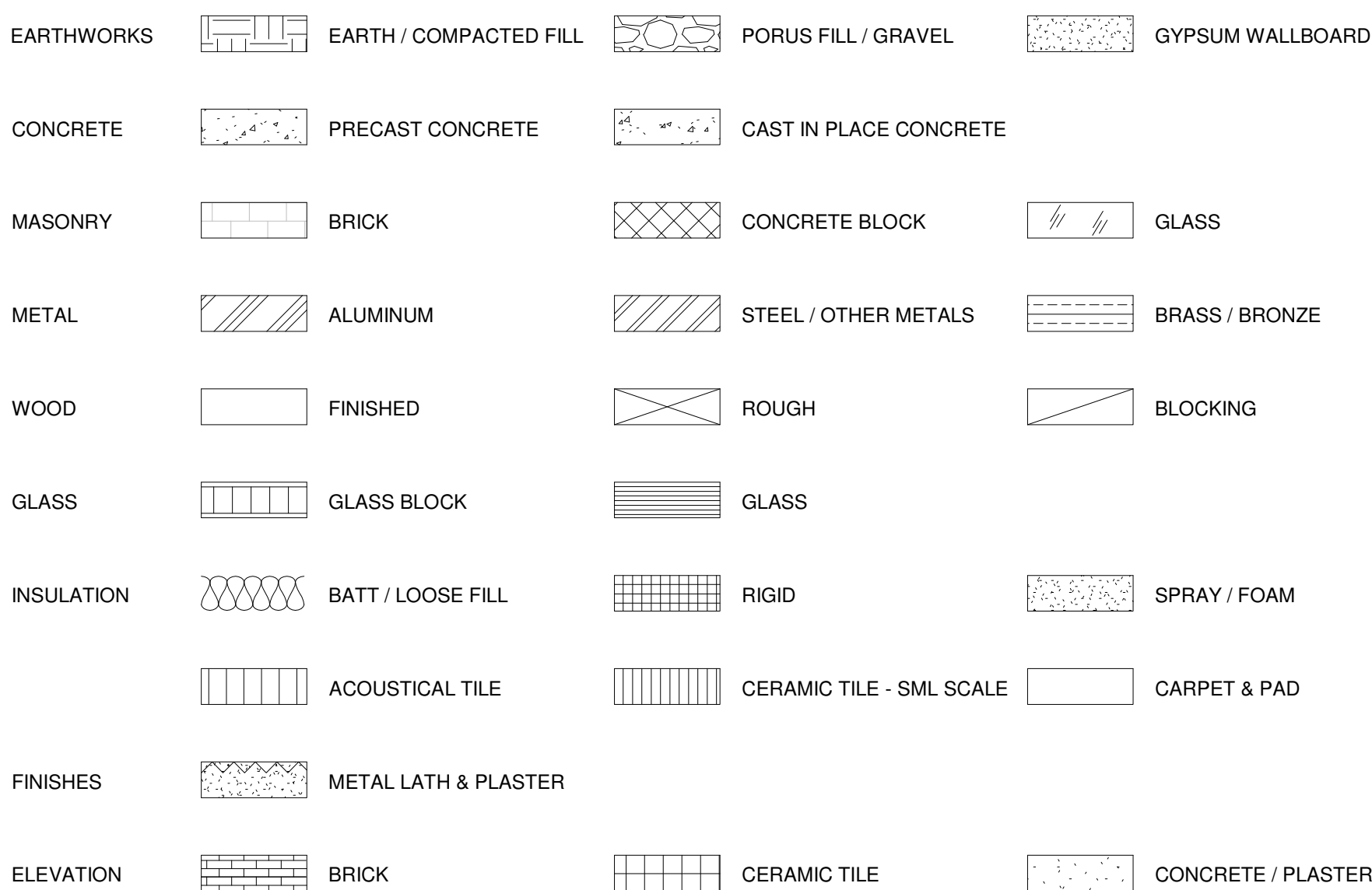
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### DRAWING SYMBOLS



### MATERIAL SYMBOLS



### SHEET LIST

#### GENERAL

A0.00 COVER  
 A0.10 SHEET INDEX, SYMBOLS, & ABBREV.  
 A0.11 LOCATION MAP, SUMMARY, & ZONING  
 A0.20 CODE ANALYSIS  
 A0.21 CODE DIAGRAMS  
 A0.40 ARCHITECTURAL SITE PLAN  
 A0.50 COURTYARD PLAN, AXON, & SECTIONS

#### CIVIL

CIV0001 NOTES, LEGEND AND ABBREVIATIONS  
 CIV0101 EXISTING CONDITIONS PLAN  
 CIV0102 DEMOLITION PLAN  
 CIV0103 EROSION AND SEDIMENT CONTROL PLAN  
 CIV0104 EROSION AND SEDIMENT CONTROL NOTES  
 CIV0105 SITE PLAN  
 CIV0106 UTILITY PLAN  
 CIV0107 GRADING PLAN  
 CIV0108 STREET LIGHT PLAN  
 CIV0109 STREET LIGHT SCHEMATIC PLAN  
 CIV0301 UTILITY PROFILES  
 CIV0501 EROSION AND SEDIMENT CONTROL DETAILS  
 CIV0502 SITE DETAILS  
 CIV0503 UTILITY DETAILS  
 CIV0504 UTILITY DETAILS  
 CIV0505 UTILITY DETAILS  
 CIV0601 DC WATER FORMS  
 CIV0701 STORM WATER MANAGEMENT PLAN - EXISTING DRAINAGE DIVIDES  
 CIV0702 STORM WATER MANAGEMENT PLAN - PROPOSED DRAINAGE DIVIDES  
 CIV0703 STORM WATER MANAGEMENT PLAN - CALCULATIONS  
 CIV0704 STORM WATER MANAGEMENT PLAN - NOTES  
 CIV0705 STORM WATER MANAGEMENT PLAN - PROW  
 CIV0706 STORM WATER MANAGEMENT PLAN - PROW

#### LANDSCAPE

L0.10 G.A.R. PLAN  
 L0.11 G.A.R. DOCUMENTS  
 L3.01 PLANTING PLAN  
 L3.02 GREENROOF PLANTING PLAN  
 L3.10 PLANTING DETAILS  
 L3.11 GREENROOF DETAILS

#### ARCHITECTURAL

A1.00 P1 SLAB EDGE PLAN  
 A1.01 GROUND FLOOR SLAB EDGE PLAN  
 A2.00 P1 FLOOR PLAN  
 A2.01 GROUND FLOOR PLAN  
 A2.02 2ND THRU 4TH FLOOR PLAN  
 A2.03 5TH FLOOR PLAN  
 A2.04 ROOF PLAN  
 A3.03 COURTYARD ELEVATIONS  
 A4.00 BUILDING SECTIONS  
 A4.01 BUILDING SECTIONS  
 A4.10 WALL SECTIONS AND DETAILS @ GRADE

#### STRUCTURAL

S1.01 GENERAL NOTES  
 S1.02 GENERAL NOTES  
 S1.03 GENERAL NOTES  
 S2.00 FOUNDATION AND P1 FLOOR FRAMING PLAN  
 S2.01 GROUND FLOOR FRAMING PLAN  
 S2.01A GROUND FLOOR SLAB REBAR PLAN  
 S2.02 2ND FLOOR FRAMING PLAN  
 S2.02A 2ND FLOOR SLAB REBAR PLAN  
 S3.01 TYPICAL DETAILS  
 S3.02 TYPICAL DETAILS  
 S3.03 TYPICAL DETAILS  
 S3.04 TYPICAL DETAILS  
 S4.01 SECTIONS  
 S4.02 SECTIONS  
 S4.03 SECTIONS

#### PLUMBING

P0.01 GENERAL NOTES, SYMBOLS & ABBREVIATIONS  
 P1.00 P1 FLOOR PLAN - PLUMBING

#### ELECTRICAL

E0.01 GENERAL NOTES, SYMBOLS & ABBREVIATIONS  
 ES.01 ELECTRICAL SITE PLAN

### ABBREVIATIONS

ABV. ABOVE	EA. EACH	IN. INCH	P.C.M.U. PREGLAZED CONCRETE MASONRY UNIT	TEL. TELEPHONE
AFF. ABOVE FINISHED FLOOR	E.W. EACH WAY	INCL. INCLUDE (D) (ING)	PTD. PAINTED	TV. TELEVISION
ACP. ACOUSTIC PANEL	E.E. ELECTRIC	INCOMB. INCOMBUSTIBLE	PR. PAIR	TEMP. TEMPERATURE
ACT. ACCOUTIC TILE	E.ELEC. ELECTRIC (AL)	ID. INSIDE DIAMETER	PNL. PANEL	TECH. TECHNICAL
ADD. # ADDENDUM NUMBER (1,2,3, ETC.)	E.I.W.C. ELECTRIC WATER COOLER	INSUL. INSULATION	PART. PARTITION	T.D. TERRACE DRAIN
ADH. ADHESIVE	E.ILEV. ELEVATOR (S)	INT. INTERIOR	PVMT. PAVEMENT	T.B. TITLE BLOCK
ADJ. ADJUSTABLE	EMER. EMERGENCY	INV. INVERT	PLAS. PLASTER	T.B.D. TO BE DETERMINED
AGG. AGGREGATE	ENCL. ENCLOSE (URE)		PL. PLATE	T.P. TOILET PAPER
A/C AIR CONDITION (ER), (ING), (ED)	ENVIRO. ENVIRONMENT		PLYWD. PLYWOOD	T.P.D. TOILET PAPER DISPENSER
AHU. AIR HANDLING UNIT	E.P. EPOXY PAINT	JAN. JANITOR (S)	PILAS. PILASTER	T.O. TOP OF
ALT. # ALTERNATE NUMBER (1,2,3, ETC.)	E.Q. EQUAL	JT. JOINT	PLAST. PLASTIC	T.O.C. TOP OF CURB
ALUM. ALUMINUM	EQUIP. EQUIPMENT		PLAM. PLASTIC LAMINATE	T.O.ST. TOP OF STEEL
AB. ANCHOR BOLT	ETC. ETCETERA		PT. POINT	T.O.S. TOP OF SLAB
ANOD. ANODIZED	EXIST. EXISTING	KIT. KITCHEN	POL. POLISHED	T.S. TUBULAR STEEL
APT. APARTMENT	EXP. EXPANSION	K.D. KNOCKED DOWN	POL.V. POLYVINYLE CHLORIDE	TYP. TYPICAL
APPROX. APPROXIMATE	EXP. ARCHITECT	K.O. KNOCKOUT	P.C. PORTLAND CEMENT	TERR. TERRAZZO
A.D. AREA DRAIN	EXT. EXPOSED		P.F.S. POUNDS PER SQUARE FOOT	THK. THICK
ARCH. ARCHITECT	EXT. EXTERIOR		P.S.I. POUNDS PER SQUARE INCH	THR. THRESHOLD
AUTO. AUTOMATIC	EXHAUST FAN	LAM. LAMINATED	P.P. PROPERTY	T&G TONGUE AND GROOVE
AVG. AVERAGE		LAV. LAVATORY	P.S.I. PROPERTY	T&B TOP AND BOTTOM
@ AT		L. LENGTH	PROP. PROP.	T.S. TOP OF SLAB
		L.V. LIVE LOAD	P.A. PUBLIC ADDRESS	T. TREAD
BSMT. BASEMENT	FT. FEET OR FOOT	L.W. LIGHT WEIGHT	QTY. QUANTITY	
B. BATHROOM	FIN. FINISH	LIB. LIBRARY	Q.T. QUARRY TILE	
BR. BEDROOM	F.A. FIRE ALARM	LIN. LINEAR		
BEAM BEYOND	F.E. FIRE EXTINGUISHER	L.R. LIVING ROOM	RAB. RABBIT (ED)	
BEL. BELOW	F.E.C. FIRE EXTINGUISHER CABINET	L.P. LOW POINT	RAD. RADIATION	U.N.O. UNLESS NOTED OTHERWISE
BM. BETWEEN	F.P. FIRE PLACE	L.V. LOW VOLTAGE	R. RADIUS	UTIL. UTILITY
BTW. BETWEEN	FBGLAS. FIBERGLASS	L.V. LOW VOLTAGE	R. RISER	U.L. UNDERWRITERS LABS INC.
BRG. BEARING	F.B. FIRE BLANKET	L.L. LONG LEG HORIZONTAL	R.C.P. REFLECTED CEILING PLAN	UV. ULTRAVIOLET
BT. BITUMINOUS	F.D.V. FIRE DEPARTMENT VALVE	L.L.V. LONG LEG VERTICAL	RECP. RECEPTACLE	
BEV. BEVEL (ED)	F.R. FIRE RATED		REF. REFERENCE	
BLK. BLOCK	F.H.C. FIRE HOSE CABINET		REFRIG. REFRIGERATOR	VERT. VERTICAL
BLKG. BLOCKING	FIXT. FIXTURE		REQD. REQUIRED	VEST. VESTIBULE
BD. BOARD	F.H.M.S. FLAT HEAD MACHINE SCREW	MACH. MACHINE	R/S. ROD AND SHELF	V.A.T. VINYL ASBESTOS TILE
BTM. BOTTOM	F.H.W.S. FLAT HEAD WOOD SCREW	MAINT. MAINTENANCE	R.D. ROOF DRAIN	V.W.C. VINYL WALL COVERING
SC. BOTTOM OF CURB	FL. FLOOR	MH. MANHOLE	R.T.U. ROOF TOP UNIT	V.B. VINYL BASE
BRKT. BRACKET	F.D. FLOOR DRAIN	MFG. MANUFACTURER	REFL. REFLECTED	V.C.T. VINYL COMPOSITION TILE
BRK. BRICK	FLUOR. FLUORESCENT	MAS. MASONRY	REG. REGISTER	
BLDG. BUILDING	FTG. FOOTING	M.O. MASONRY OPENING	REV. REVISED	
BUR. BUILD-UP ROOFING	FOUN. FOUNDATION	M.A.U. MAKEUP AIR UNIT	R/O. RIGHT OF WAY	
	FR. FRAME	M.S.L. MEAN SEA LEVEL	RFG. ROOFING	W/C WATER CLOSET
	FUR. FURRED OR FURRING	MATL. MATERIAL (S)	RM. ROOM	WP. WATERPROOFING
		MAX. MAXIMUM	R.O. ROUGH OPENING	WT. WEIGHT
CAB. CABINET	GA. GAGE OR GAUGE	MECH. MECHANICAL	RUB. RUBBER	W.W.F. WELDED WIRE FABRIC
CPT. CARPET	GALV. GALVANIZED	MEMB. MEMBRANE		W. WEST
CL. CAST IRON	GAL. GALLON	MTL. METAL, METALIC	SCHED. SCHEDULE	W/ WITH
C.B. CATCH BASIN	GL. GLASS	MEZZ. MEZZANINE	SECT. SECTION	W/O WITHOUT
CLG. CEILING	GLAZ. GLAZE (D)	MIN. MINIMUM	SECT. SHEET	WD. WOOD
CEM. CEMENT	G.ST. GLAZED STRUCTURAL	MISC. MISCELLANEOUS	SHT. SHEET	
CTR. CENTER	GR. GREEN	MTD. MOUNTED	S.M.S. SHEET METAL SCREW	
C/C CENTER TO CENTER	GR. GYPSUM	MTG. MOUNTING	SIM. SIMILAR	
C.T. CERAMIC TILE	G.W.B. GYPSUM WALL BOARD	MULL. MULLION	SL. SLIDE (ING)	
CO. CLEANOUT			S.C. SOILD CORE	
C.O. CASED OPENING			S.T.C. SOUND TRANSMISSION CLASS (IFICATION)	
CLH. CLEAR (ANCE)			S. SOUTH	
CL. CLOSET			SPEC. SPECIFICATION	
CTD. COATED			SQ. SQUARE	
COL. CONCRETE			S.S. STAINLESS STEEL	
CONC. CONCRETE MASONRY UNIT			STD. STANDARD	
C.M.U. CONSTRUCT (ION)			STL. STAND PIPE	
C.J. CONSTRUCTION JOINT			STL. STEEL	
CONT. CONTINUE (D) (OUS)			STOR. STORAGE	
C.L.L. CONTRACT LIMIT LINE			ST. STREET	
C.J.T. CONTROL JOINT			STRUC. STRUCTURAL	
CORR. CORRIDOR			S.C.T. STRUCTURAL CLAY TILE	
CTSK. COUNTERSINK			SUSP. SUSPENSION OR SUSPENDED	
CRS. COURSES			SUBST. SUBSTATION	
CU. FT. CUBIC FEET			SYS. SYSTEM	
CL. CENTER LINE				
	H.B.D. HARDBOARD	N.R.S. NOISE REDUCTION SYSTEM		
	HDWR. HARDWARE	NOM. NOMINAL		
	HDWD. HARDWOOD	N. NORTH		
	H.V.A.C. HEATING, VENTILATING & AIR CONDITIONING	N/A. NOT APPLICABLE		
		NO. NUMBER		
	HD. HEAD	N.I.C. NOT IN CONTRACT		
	HVY. HEAVY	N.T.S. NOT TO SCALE		
	HT. HEIGHT			
	H.P. HOLLOW POINT			
	H.C. HOLLOW CORE			
	H.M. HOLLOW METAL	OFF. OFFICE		
	HORIZ. HORIZONTAL	O.C. ON CENTER		
	H.B. HOSE BIBB	OPNG. OPENING		
	H.V.C. HOSE VALVE CABINET	OPP. OPPOSITE		
	H.W.H. HOT WATER HEATER	OA. OVERALL		
	HTR. HEATER	O.D. OUTSIDE DIAMETER		
	HR. HOUR	O.H.M.S. OVAL HEAD MACHINE SCREW		
		O.H.W.S. OVAL HEAD WOOD SCREW		

GOVERNMENT OF THE DISTRICT OF COLUMBIA  
 PERMIT OPERATIONS DIVISION  
 PLANS APPROVED

Permit No. FD1900028 Date 05/21/19

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Zoning Review - Kris Green Review - Kris Structural Review - Electrical Review - DOE SE-SW Review - DOE GAR Review - Mechanical Review - Plumbing Review - WMATA Review -

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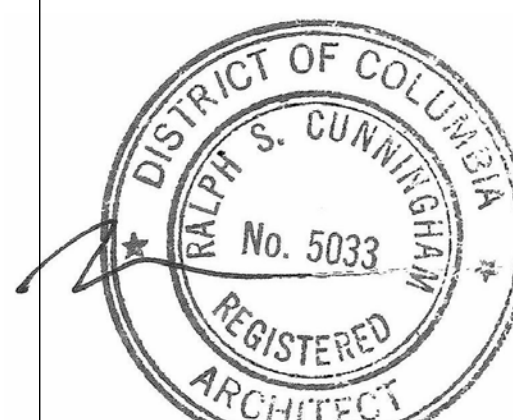
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ISSUED FOR PERMIT - DEPARTMENT OF GENERAL SERVICES PROJECT

Issues / Revisions

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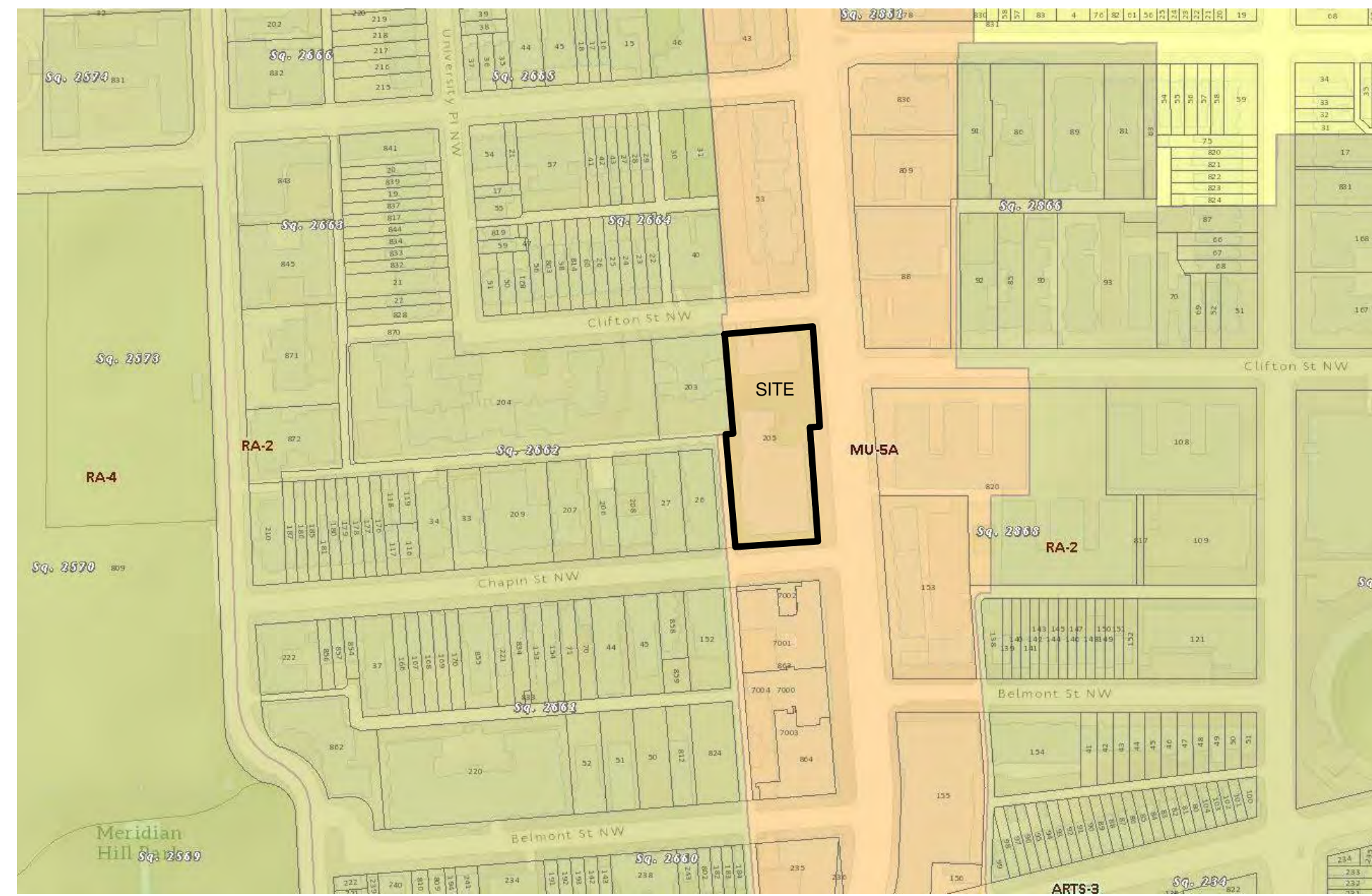
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Date	1/17/19	Checked By	CQA

A0.10



ZONING MAP



AERIAL MAP



PROJECT NARRATIVE

The Ward 1 Short Term Family Housing Facility will be located at the 2500 14<sup>th</sup> Street, NW, at the corner of 14<sup>th</sup> Street NW and Clifton Street, NW. The existing site includes a community recreation center (the Rita Bright Recreation Center), which will remain on the site, and a surface parking lot with space for 13 cars. The new building will be located on the north half of the site, where the surface parking lot is currently located. The community recreation center will remain in its current configuration.

The new building will be comprised of 50 residential apartments. Of these, 35 will be 2- and 3-bedroom apartments for families in need of short term emergency housing (STFH). The remaining residential units will be 1-bedroom apartments for individuals in need of Permanent Supportive Housing (PSH).

Parking for the building, and for the Rita Bright Community Center, is planned to be located on one level, partially below grade in the new building. The 13 parking spaces currently located in the surface parking lot will be relocated and dedicated for Rita Bright users and staff. Residents will not be provided with parking on-site, however some staff parking (9-12 spaces) is planned for the building.

The building will be 75,000-85,000 Gross Square Feet including residential units, parking and building services, community rooms, and administrative space. The site will also include outdoor recreation space: a courtyard playground for use by residents of the STFH program and a terrace for the PSH residents. The building is expected to achieve a LEED for Homes Gold rating with sustainable features such as high efficiency systems and fixtures, green roofs, and a continuous thermal envelope.

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ZONING SUMMARY

Uses	Allowed	Proposed	Comments
U-512	Recreational uses; Residential uses;	Existing Public Recreation & Community Center, Proposed Apartment Building	
Height G-403	65'-0" (70'-0" with IZ)	65'-0" max. to highest parapet.	
Site Area	41,099 SF		Per Subtitle C §302.4, multiple buildings may be constructed on the same lot provided they collectively and separately meet zoning requirements.
FAR G-402	Total Permitted: 3.5 (4.2 with IZ); Non-residential: 1.5 max.	Residential Building: 1.65; Community Center: 0.37; Total for site: 2.0.	
Gross Floor Area (FAR)	143,846 SF (3.5); or 172,615.8 SF (4.2)	Residential building area: 67,630 GSF; Community Center area: 15,079 GSF; Total for site: 82,709 GSF.	
Penthouse C-1500	FAR: 0.4 (not included in building FAR); Height: 12'-0" max. (18'-8" for mechanical space).	Open-air mechanical penthouse @ 8'-0"; Separate elevator overrun @ 4'-7".	Penthouse will not include habitable space, and will only include elevator overruns and mechanical spaces.
Lot Occupancy G-404	80%	13,330 SF + 15,079 SF = 28,409 SF. Lot occupancy: 69.1%	
Front Setback	None required.	Varies across the site.	There are no imposed limits on provided setbacks.
Side Setback G-406	None required; if provided it shall be 2" per 1'-0" of height and 5'-0" minimum.	None.	
Rear Yard Setback B-317	None required for a through lot, per Subtitle B §317.3	None.	
Open Court Width G-202	4 inches per 1 foot of height of court, 10'-0" minimum. STFH Play Area: 19'-10" required; Rita Bright Plaza & access: 15'-0" required.	STFH Play Area: 32'-4" provided; Rita Bright Plaza & access: 23'-0" provided.	For irregularly shaped courts, width is measured by the diameter of the largest circle that can be inscribed in it, per Subtitle B §322.4. STFH Play Area height: 59'-6"; Rita Bright Plaza & access height: 13'-6";
GAR G-407	0.30	0.312 proposed.	
Parking C-701	Residential, multiple: 1 per 3 dwelling units in excess of 4 units (=8 required); Parks & recreation: 0.5/1000 SF (=4 required) Total: 12 spaces required	Residential: 8 spaces provided; Community center: 13 spaces provided; Total: 21 spaces.	Per Subtitle C §702.1.c.3, because this site is within ¼ mile of the 16th Street bus corridor, parking requirements are halved.
Loading C-901	None required.	None provided.	Per Subtitle C §901.1, loading is only required for more than 50 residential units, or more than 30,000 SF in the community center
Bicycle Parking C-802	Parks & recreation: 1/10,000 SF short-term, but no less than 6 (=6 required); Residential: 1/three dwelling units long term, 1/20 dwelling units short-term (=17 long-term required, 3 short-term required).	Long-term: 17 provided; Short term:	

BUILDING DATA

BUILDING AREA:

Parking Level	15,200 GSF
Ground Floor	10,900 GSF
Second Floor	13,330 GSF
Third Floor	13,330 GSF
Fourth Floor	13,330 GSF
Fifth Floor	12,800 GSF
<b>TOTAL</b>	<b>78,890 GSF</b>

Ward 1 STFH PSH  
 Building Data

Preliminary Unit & Bed Count

	PSH 1BR Units	STFH 2BR Units	STFH 3BR Units	Total Units	Total Beds	Total Trundles
Parking Level	0	0	0	0	0	0
Ground Floor	0	5	1	6	26	1
Second Floor	5	5	2	12	37	4
Third Floor	5	5	2	12	37	4
Fourth Floor	5	5	2	12	37	4
Fifth Floor	0	6	2	8	36	4
<b>Total</b>	<b>15</b>	<b>26</b>	<b>9</b>	<b>50</b>	<b>173</b>	<b>17</b>

Preliminary Bathroom & Restroom Count

	PSH ADA Restrooms	PSH Type B Full Bathrooms	STFH ADA Restrooms	STFH Type B Full Bathrooms	Public Restrooms	Staff Restrooms
Parking Level	0	0	0	0	1	1
Ground Floor	0	0	1	6	2	0
Second Floor	3	2	3	7	0	0
Third Floor	3	2	3	7	0	0
Fourth Floor	3	2	3	7	0	0
Fifth Floor	0	0	3	8	1	1
<b>Totals</b>	<b>9</b>	<b>6</b>	<b>13</b>	<b>35</b>	<b>4</b>	<b>2</b>

Summary

Total Units	50
Total Beds	173
Total Trundles	17
Total ADA Restrooms	22
Total Type B Bathrooms	41
Total Public Single-use Restrooms	4
Total Staff Single-use Restrooms	2

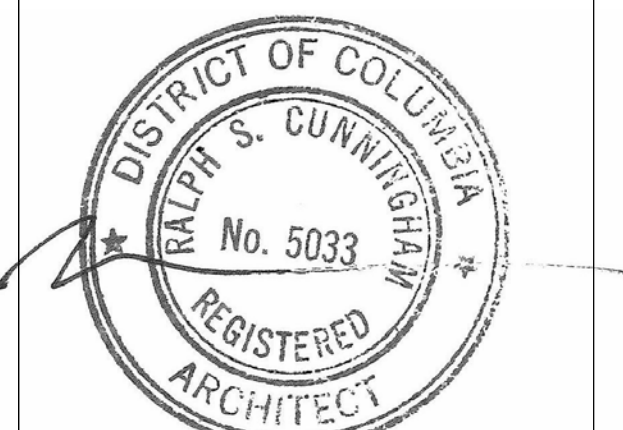
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 Zoning

Scale	Drawn By	CQA
Date	Checked By	CQA
1/17/19		

A0.11

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2012 ICC Building Code / 2013 District of Columbia Building Code Analysis:

Chapter 3: Use and Occupancy Classification		
Table / Section	Requirement	Proposed
310.4 Residential Group R-2	"Residential occupancies containing sleeping units or more than two dwelling units where the occupants are primarily permanent in nature, including... Boarding houses (non-transient) with more than 16 occupants"	R-2, sprinklered
Chapter 5: General Building Heights and Areas		
Table / Section	Requirement	Proposed
503 Allowable Building Heights and Areas for Type IIB Construction (as allowed by 504.2 Automatic sprinkler increase and starting at Ground Floor level per the definition of the "Story Above Grade Plane" in Section 202)	Max Height: 75 ft Max Stories: 5 Max Building Area Per Story: 16,000gsf	65 ft 5 15,100 GSF on P1 and between 10,900 and 13,300 on upper levels
508.4 Required Separation of Occupancies	Residential Occupancies must have a fire separation of 1 hr from Assembly and Business occupancies S-2 or U Occupancies must have a fire separation of 1 hr from Residential and Business Occupancies S-2 occupancies do not have a required separation from U occupancies	1 hr between R and A/B 1 hr between S-2 or U and R/B no separation provided
Chapter 6: Types of Construction		
Table / Section	Requirement	Proposed
602.2 Types I and II	Types I and II: non combustible structural frame, non combustible bearing and non-bearing exterior and interior partitions, non-combustible roof	Construction Type IIB (see above for Max Height and Area) non-combustible CFS walls and MSR Concrete on Metal Deck on top of concrete basement is the proposed structure
601 Fire-Resistance Rating Requirements For Building Elements	0 hr rating requirement for Building Elements	0 hrs except for exterior walls (see below)
602 Fire Resistance Rating Requirements For Exterior Walls Based on Fire Separation Distance	X < 5: 1 hr	1 hr
Chapter 7: Fire and Smoke Protection Features		
Table / Section	Requirement	Proposed
705.2 Minimum Distance of Projections	Where Fire Separation Distance is 0 feet, projections are not permitted	There are no projections over the property line or the Imaginary Line separating 2 buildings on same property
705.8 Max Area of Exterior Wall Openings (Unprotected, Sprinklered openings provided)	North Elevation: FSD is 24ft - 34ft, no limit East Elevation: FSD is 40ft - 66ft, not required South Elevation @ Plaza: FSD is 11ft - 13ft, 45% max permitted South Elevation @ Adjacent Building: FSD is 0ft, not permitted West Elevation: FSD is 0ft, not permitted	no limit to meet no requirement to meet 33% no windows no windows
706.4 Fire Wall Fire Resistance Ratings	For A and R-2 uses 3hrs is required	3 hr fire wall will be provided
708.3 Fire Resistance Rating	Fire partitions = 1 hr min. Corridor walls = 1/2 hr min. Walls between sleeping units = 1/2 hr. min.	1 hr 1/2hr 1/2 hr
716.5 Opening Fire Protection Assemblies, Ratings and Markings	Door in 1 hr. Fire partitions = 20 minutes Sidelight/Transom in 1 hr. Fire partition = 45 minutes Door in 1/2 hr. Fire partitions or corridor walls = 20 minutes Sidelight/Transom in 1 hr. Fire partition = 45 minutes	20 minutes 45 minutes 20 minutes 45 minutes
Chapter 8: Interior Finishes		
Table / Section	Requirement	Proposed
803.9 Interior Wall and Ceiling Finish Requirements by Occupancy	Class C min wall and ceiling finishes for an R-2 Sprinklered Building	Class C Gyp Bd. Wall and Ceiling Finishes and Class C Acoustical Ceiling Tile
804 Interior Floor Finish	Class I or II except for transitional flooring materials such as linoleum, resilient, etc.	mostly linoleum / resilient flooring, see interior finish schedule
Chapter 10: Means of Egress		
Table / Section	Requirement	Proposed
1004.1.2 Maximum Floor Area Allowances Per Occupant	Accessory Storage Areas, Mech equip rm - 300 gross Assembly Concentrated - 7 net Assembly Unconcentrated - 15 net Business - 100 gross Residential - 200 gross* Parking Garages - 200 gross	300 gross 7 net 15 net 100 gross 200 gross* 200 gross
*Occupancy loads for residential areas were based on number of beds (including optional trundles) since this number is more than was calculated per max floor area. Per 1004.1.2, increased occupant load "The occupant load permitted in any building, or portion thereof, is permitted to be increased from that number established for the occupancies in the Table 1004.1.2, provide that all other requirements of the code area also met based on such modified number and the occupant load does not exceed one occupant per 7 square feet of occupiable floor space."		
1005.3.1 Min Egress Width	2 inches is required per occupant for Stairs in a sprinklered building min width is 44"	44"
1016.2 Exit Access Travel Distance	the max travel distance for R occupancy is 250 feet with a sprinkler system	70 feet max travel distance
1007.2 Continuity and Components	Elevators complying with Section 1007.4 shall count as an accessible means of egress and is required for a building 4 stories or more above a horizontal exit discharge	Elevator complying with Section 1007.4 provided
1018.1 Corridor Fire-Resistance Rating	R Occupancy with more than 10 Occupancy Load requires a 0.5 hr. rated corridor and the building must be sprinklered	1/2 hr rated corridor provided, building to be sprinklered
1018.4 Dead End Corridors	a dead end corridor in R-2 occupancy with a sprinklered building shall not be more than 50 feet	21 feet max dead end corridor
1021.2.4 Exits from stories	three exits or exit access stairways are required	three exit access stairways provided
1015.2.1 Exit Separation Distance	Two exits shall be placed a min of 1/4 the length of the max overall diagonal dimension of the area served for a building that is sprinklered	P1: 172' / 4 = 43' (130' provided) Ground Floor: 172/4 = 43' min (140' provided) Ground Floor Courtyard: 68/4 = 17' min. (55' provided) Floors 2-5: 172/4 = 43' min (140' provided)
1018.6 Corridor Continuity	"Fire-resistance rated corridors shall be continuous from the point of entry to an exit..." with the exception of "Foyers, lobbies or reception rooms constructed as required for corridors shall not be construed as intervening rooms"	Provided
1027.1 Stair Exit Through Lobby	50% of the exit stairways can egress through areas on the level of exit discharge provided that there is a free an unobstructed path, the entire area of the level of exit discharge is separated from areas below by the construction conforming to the fire resistance rating for the enclosure, and the building is sprinklered.	1 exit stair (of 3 total) will exit through lobby

1010.11 Guardrail Height	Guardrails required to be 42" tall	42"
1029.2 Min. Window Emergency Escape	Min window for emergency escape to be provided for all sleeping rooms floors 1-3 above grade with min area of 5.7 and min 24" x 20"	provided
Chapter 11: Accessibility		
Table / Section	Requirement	Proposed
1107.6.2.2 Fully Accessible Units	A building with 50 units requires: 2 Sleeping units without roll in showers AND 0 Sleeping units with roll in showers	See Sheet A0.22
1107.6.2.1.1 Type A Units	In group R-2 occupancies containing more than 20 dwelling units at least 2% but not less than one of the units shall be a Type A unit.	See Sheet A0.22
1107.6.2.2.2 Type B Units	2% x 50 sleeping units = 1 Type A Required In group R-2 occupancies where there are 4 or more dwelling units, all units must be min. Type B	All remaining units will be Type B min.
Chapter 12: Interior Environment		
Table / Section	Requirement	Proposed
1207.3 Structure-borne sound	Floor/ceiling assemblies between dwelling units to have IIC rating 50 STC	50 STC rating for floor/ceiling assembly

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the Bureau of Public Works. Permits are required for trade work, e.g. Electrical or Plumbing

Zoning Review - Brian Green Review - Kris Structural Review - Kris Electrical Review - ADOEE SE-SW Review - DOEE GAR Review - Mechanical Review - Plumbing Review - WMATA Review - R

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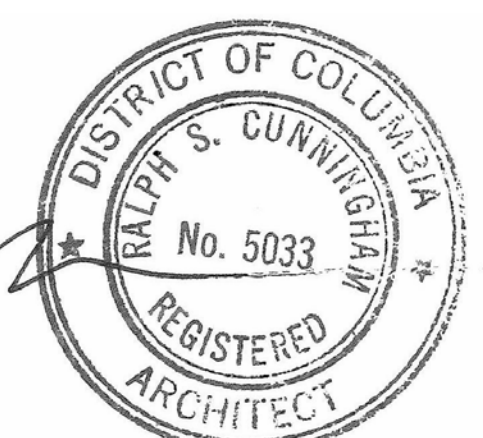
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Issues / Revisions

11/20/2018	Schematic Design Submission
01/17/2019	Foundation to Grade Permit

Ward 1 STFH & PSH  
2500 14th Street NW  
Washington DC 20009

CQA#21811

Drawing Title

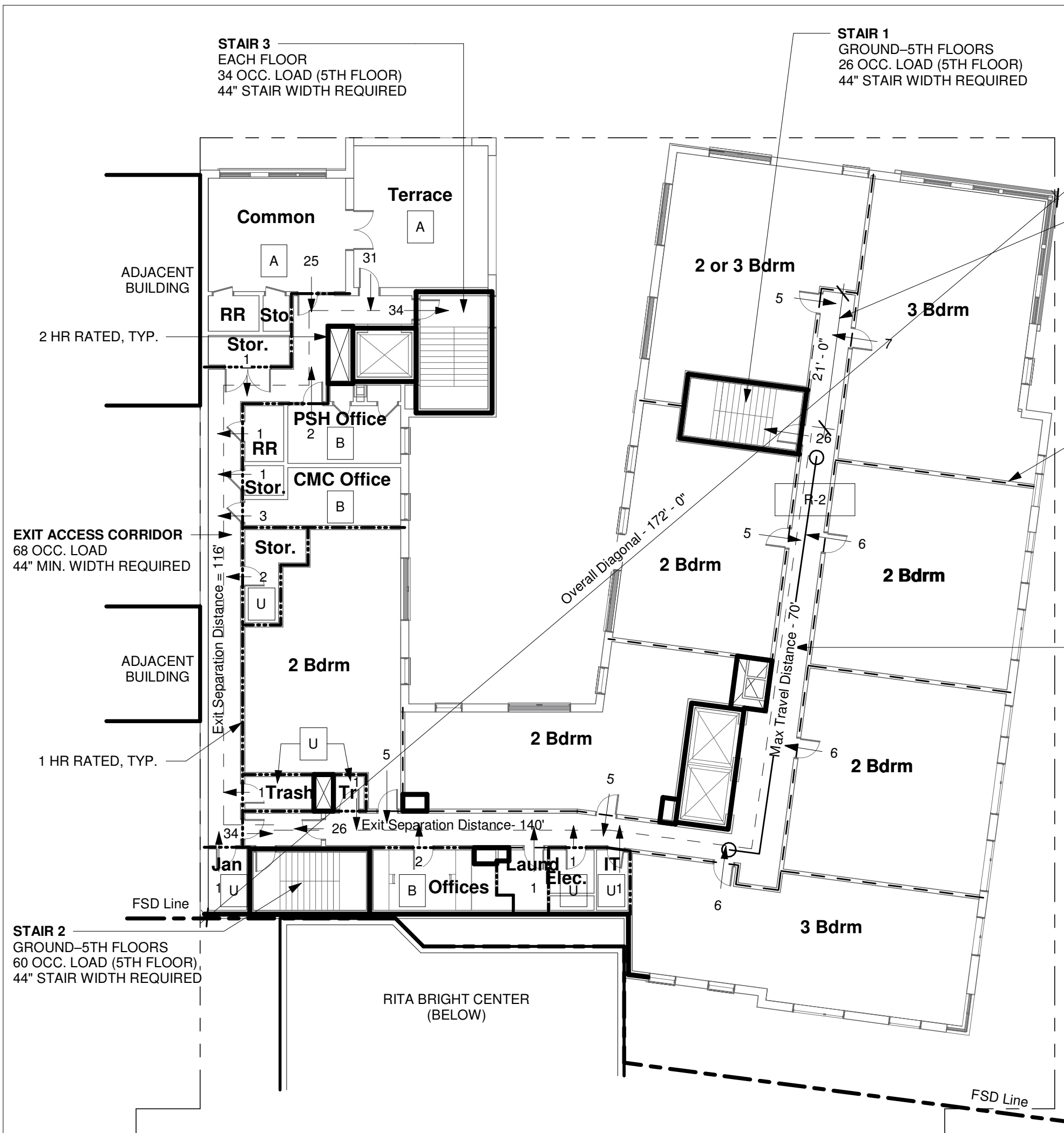
Code Analysis

Scale	Drawn By CQA
Date 1/17/19	Checked By CQA

A0.20

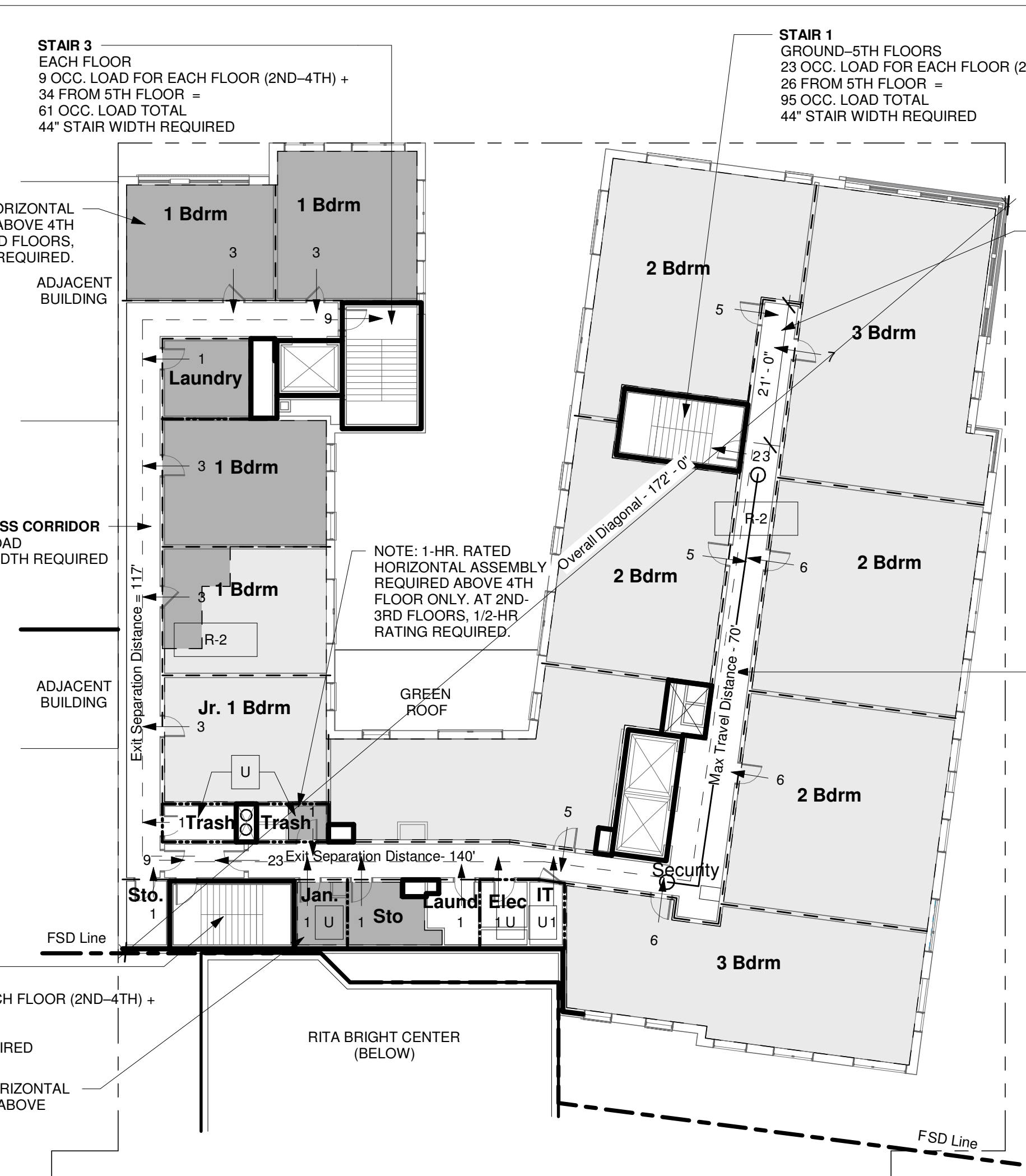
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TOTAL FLOOR OCCUPANT LOAD: 119

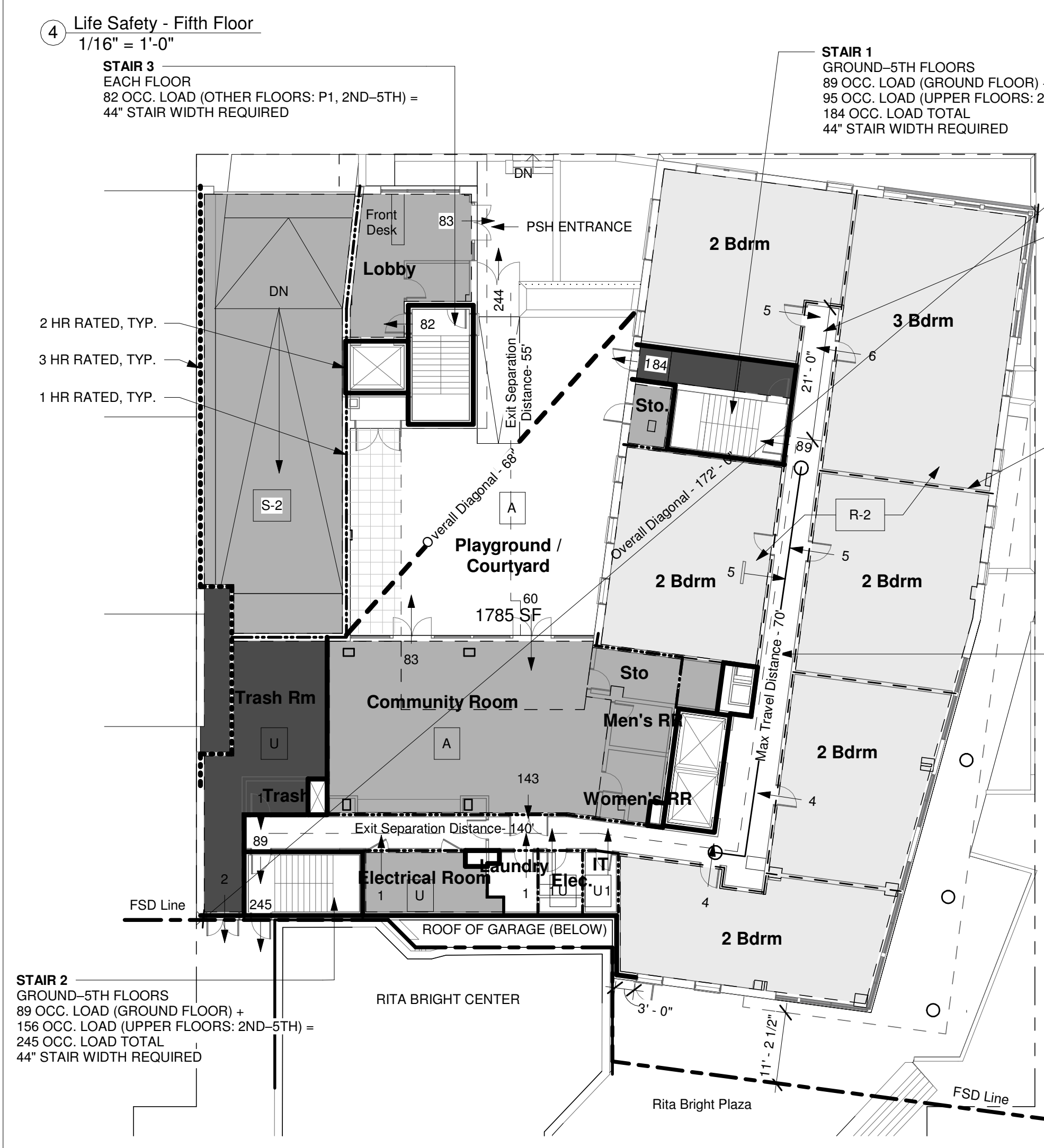
EXIT ACCESS CORRIDOR 51 OCC. LOAD 44" MIN. WIDTH REQUIRED



TOTAL FLOOR OCCUPANT LOAD: 64

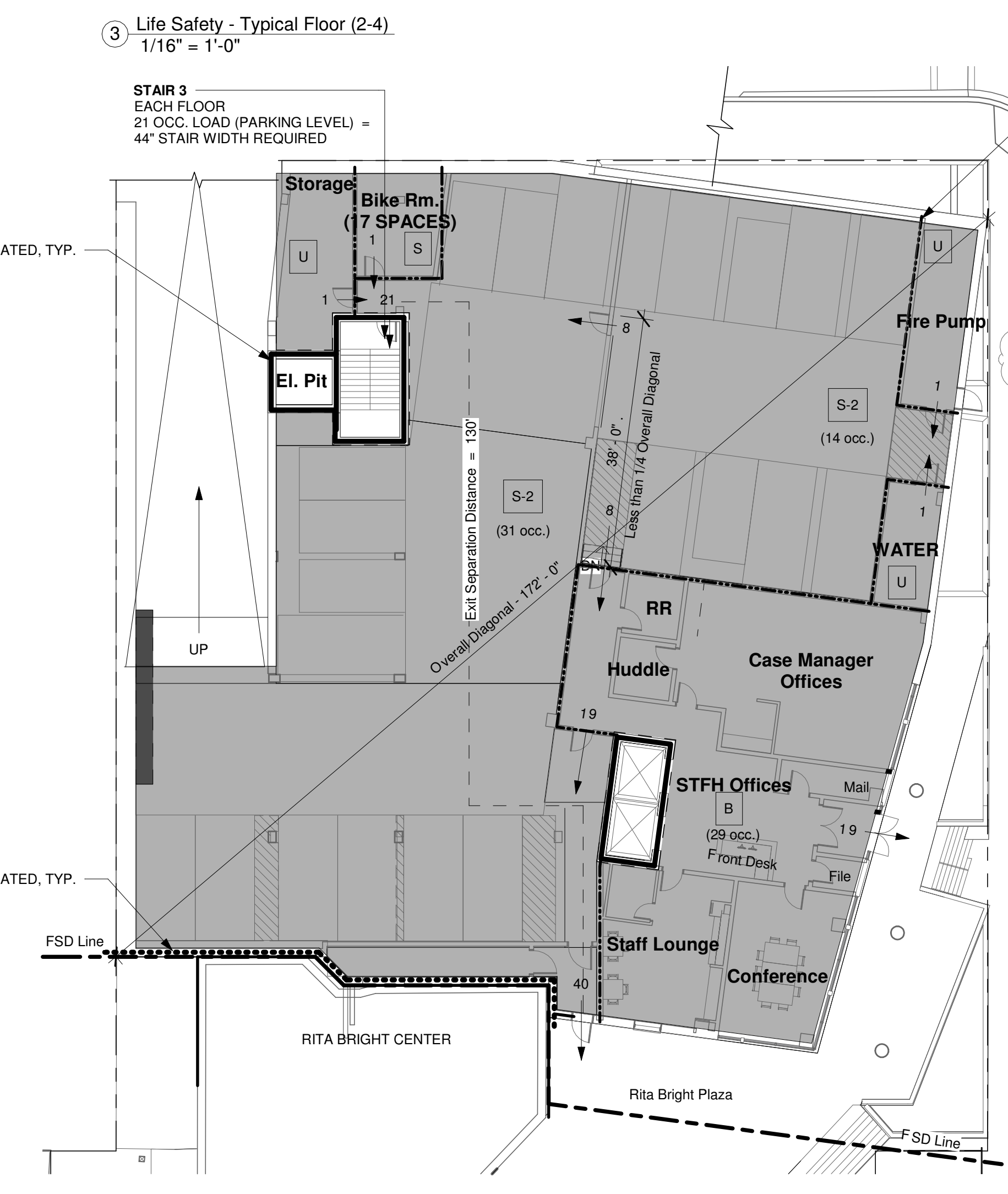
EXIT ACCESS CORRIDOR 18 OCC. LOAD 44" MIN. WIDTH REQUIRED

EXIT ACCESS CORRIDOR 45 OCC. LOAD 44" MIN. WIDTH REQUIRED



TOTAL FLOOR OCCUPANT LOAD: 180

EXIT ACCESS CORRIDOR 203 OCC. LOAD 44" MIN. WIDTH REQUIRED



TOTAL FLOOR OCCUPANT LOAD: 78

EXIT ACCESS CORRIDOR 45 OCC. LOAD 44" MIN. WIDTH REQUIRED

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APPLICABLE CODES:

**GOVERNMENT OF THE DISTRICT OF COLUMBIA**  
**PERMIT OPERATIONS DIVISION**  
**PLANS APPROVED**  
 Permit No. FD1900028 Date 05/21/19

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the required permits for trade work, e.g. Electrical or Plumbing.

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LANDSCAPE ARCHITECT: Landscape Architecture Bureau 714 7th Street, SE Washington, DC 20003 Phone: 202-543-6550

LEGEND:

- 1/2 HR INTERIOR RATED WALL
- 1 HR RATED WALL
- ===== 2 HR RATED WALL
- 3 HR RATED WALL
- - - - FSD LINE
- 1/2 HR RATED HORIZONTAL ASSEMBLY ABOVE
- 1 HR RATED ROOF / HORIZONTAL ASSEMBLY ABOVE
- 2 HR HORIZONTAL ASSEMBLY ABOVE

TOTAL OCCUPANCY CALC:

LEVEL P1:	77
GROUND FLOOR:	211
2ND FLOOR:	64
3RD FLOOR:	64
4TH FLOOR:	64
5TH FLOOR:	124
<b>TOTAL:</b>	<b>604</b>

11/20/2018 Schematic Design Submission  
 01/17/2019 Foundation to Grade Permit

Issues / Revisions

Ward 1 STFH & PSH  
 2500 14th Street NW  
 Washington DC 20009  
 CQA#21811

Drawing Title

**Code Diagrams**

Scale: As indicated Drawn By: CQA  
 Date: 1/17/19 Checked By: CQA

**A0.21**

1/23/2019 4:52:08 PM



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Zoning Review - Brian  
 Green Review - Kris  
 Structural Review -  
 Electrical Review -  
 DOEE SE-SW Review -  
 DOE GAR Review -  
 Mechanical Review -  
 Plumbing Review -  
 WMATA Review - R

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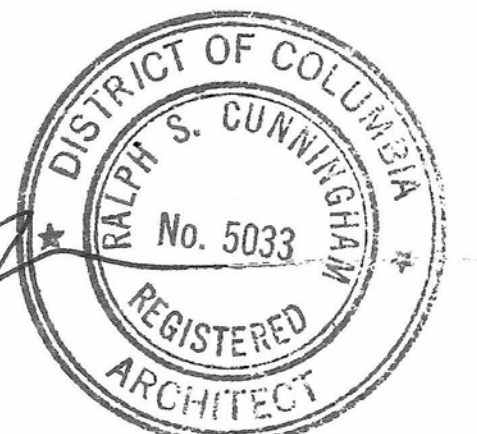
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Ward 1 STFH & PSH  
 2500 14th Street NW  
 Washington DC 20009

CQA#21811

Drawing Title

Architectural  
 Site Plan

Scale 1/16" = 1'-0"  
 Date 1/17/19  
 Drawn By COA  
 Checked By COA

**A0.40**

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